

Home Centre Properties SH1 / Grants Road Development

Transport RFI Questions

Prepared for	Timaru District Council
Project number	TDC-J054
Revision	A
Issue date	20 March 2026
Prepared by	Dave Smith, Technical Director
Reviewed by	Logan Copland, Principal Transport Planner

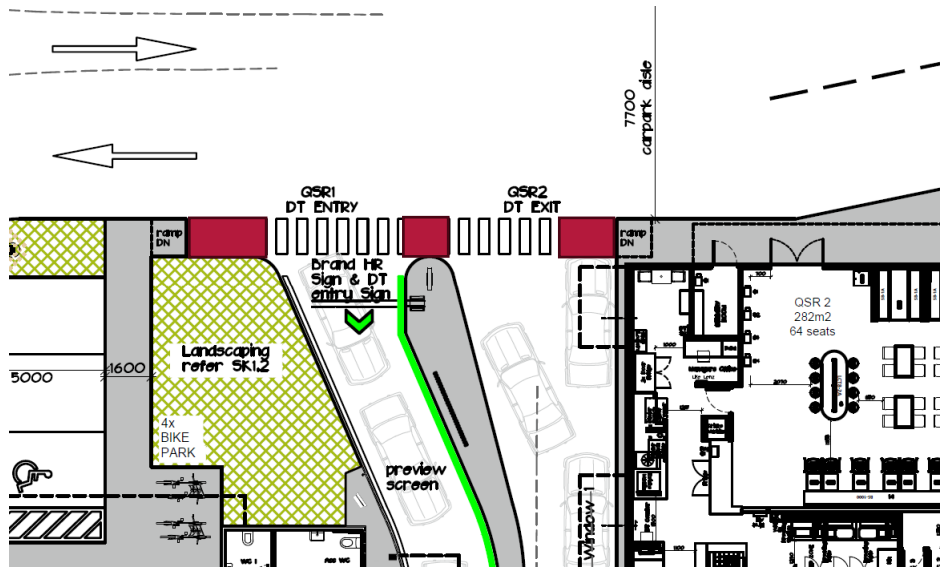
1. Introduction

A fast-food development is proposed on the southwest corner of the SH1 / Grants Road intersection, including three tenancies each with car parking and drive thru lanes. Abley prepared an initial RFI in August 2025 in relation to the original application. The application has subsequently been amended to remove one drive thru lane, and provide additional carparking.

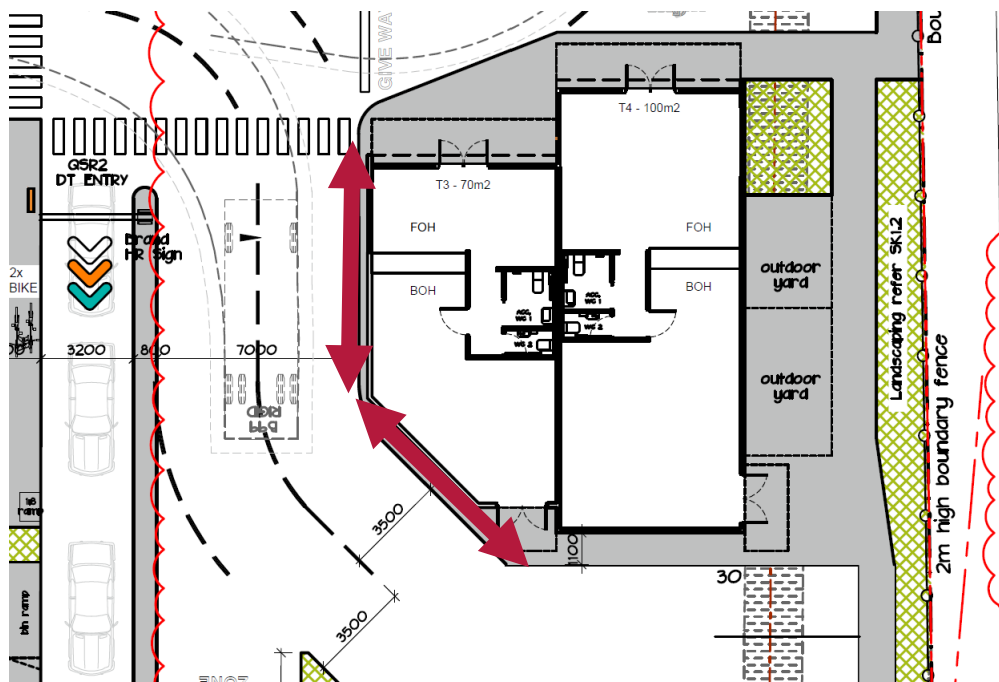
This technical note captures a second set of RFI questions and recommended changes to conditions in relation to the updated Integrated Transport Assessment (ITA) report prepared by Avanzar dated February 2026.

2. Questions

- a) The pedestrian crossing that straddles both the DT1 entry and DT2 exit is very long and offers minimal protection for pedestrians. A parked car at the DT2 exit lane holding window also potentially obscures intervisibility between DT2 exiting vehicles and pedestrians walking from the right. It is recommended that the footpath with kerbs be extended as shown (in maroon) in the figure below. A vehicle at the holding window car park could safely reverse prior to exiting the drive thru lane. Give way signage and a limit line is also recommended to be added to the plans for the DT2 exit lane to minimise conflicts with pedestrians.



- b) Can an assessment of pedestrian safety to the west of tenancy 3 be undertaken, noting this is the most direct route to the front doors of the tenancies? There appears to be ample room to push the kerb out and include a formal pedestrian connection as shown below in maroon.



2.1 Feedback on conditions

- a) The new condition 9 relates to preparing a TMP to address anticipated additional demand following opening. This currently reads “....and the effects this creates on site” which is recommended to be amended to “....and the effects this creates on site and the wider transport network”. It is anticipated that the TMP would be lodged with NZTA for approval as State Highway RCA, however the main access is off Grants Road where Timaru DC is RCA. It is recommended that the condition include “The TMP is to be lodged with NZTA and must also be provided to Timaru District Council for formal comment.”

- b) The additional parking supply and Grants Road parking survey is acknowledged. There remains a risk that staff may park within the site despite the intention being for all staff to park on Grants Road and further afield. It is recommended that P60 signage be installed within the site to reinforce that all parking onsite is for customers only.
- c) The response to the prior ITA paragraph 52 RFI (see p3 in memo at back of ITA) states the applicant will engage with Council regarding banning parking to the north of the access along Grants Rd. It is agreed that this would be preferable. It is recommended that this should be included as a condition of consent subject to Council providing approval.
- d) The new condition 7 restricting timing of deliveries and servicing is acknowledged. Vehicle tracking has been provided for a B99 rigid vehicle. It is recommended that the condition be modified to state that only heavy vehicles up to that size are to service the site as larger vehicles may block the SH access and fail to negotiate the carpark especially the exit onto Grants Rd.

Auckland

Level 1/70 Shortland Street

Auckland 1010

Aotearoa New Zealand

Wellington

Level 1/119-123 Featherston Street

Wellington 6011

Aotearoa New Zealand

Christchurch

Level 1/137 Victoria Street

PO Box 36446, Merivale

Christchurch 8146

Aotearoa New Zealand

hello@abley.com

+64 3 377 4703

abley.com